



# Notice of Development Review

**The Columbia River Gorge Commission is seeking comment on the following development review application:**

<b>FILE NUMBER:</b>	C25-0010
<b>PROPOSAL:</b>	The Columbia River Gorge Commission has received an application for an accessory building to replace multiple buildings destroyed by the Burdoin Fire.
<b>APPLICANTS:</b>	Kyle and Anita Brazell
<b>LANDOWNERS:</b>	Kyle and Anita Brazell
<b>SIZE and LOCATION:</b>	The subject parcel is approximately 32 acres in size and located 11 Pitman Road and is described as Tax Lot Number 03-12-3400-0005/00 in the northwest quarter of Section 34, Township 3 North, Range 12 East, Willamette Meridian, Klickitat County, Washington.
<b>LAND USE DESIGNATION:</b>	General Management Area (GMA) – Small Scale Agriculture (80)
<b>NOTICE DATE:</b>	November 10, 2025
<b>COMMENT DEADLINE:</b>	December 1, 2025

The application and supporting documents are available for review Monday through Thursday from 8:00 a.m. to 5:00 p.m. at the Gorge Commission office at 57 NE Wauna Avenue, White Salmon, Washington. The application and supporting documents are also available on the Gorge Commission's website at <http://www.gorgecommission.org/land-use/pending-applications/>.

This application will be reviewed for consistency with the Columbia River Gorge Commission's Land Use Ordinance (Commission Rule 350-082). The Gorge Commission may consider comments about consistency with *Management Plan for the Columbia River Gorge National Scenic Area* and the Columbia River Gorge National Scenic Area Act, 16 U.S.C. §§ 544 - 544p. Copies of these authorities are available on the Gorge Commission's website at <http://www.gorgecommission.org/about-crgc/legal-authorities/>.

Comments may be mailed to the Gorge Commission office at P.O. Box 730, White Salmon, WA 98672 or emailed to [info@gorgecommission.org](mailto:info@gorgecommission.org). All comments received are public records and will be provided to persons who request a copy in accordance with the Gorge Commission's rule governing public records (Commission Rule 350-12).

Consistency with the National Scenic Area Act does not imply or ensure compliance with any other applicable local, state, or federal law.

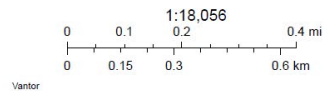
If you have any questions, please contact Bryce Guske at (509) 713-9622 or by email at [bryce.guske@gorgecommission.org](mailto:bryce.guske@gorgecommission.org).

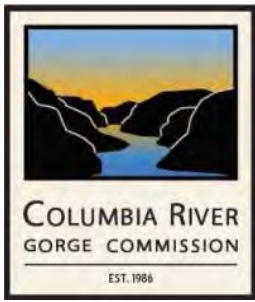
### C25-0010 Brazell



11/6/2025, 2:56:00 PM

-  Taxlots
-  NSA Exterior Boundary
-  Urban Areas





For office use:  
Application No. \_\_\_\_\_

# Land Use Application

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Applicant(s) [Kyle and Anita Brazell](#)

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Mailing Address: [11 Pitman Road](#)  
[Lyle, WA 98635](#)

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Phone: [\(801\) 695-6500](#)

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Email [kyleanita@hotmail.com](mailto:kyleanita@hotmail.com)

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Property Owner(s) [Kyle and Anita Brazell](#)

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Mailing Address: [11 Pitman Road](#)  
[Lyle, WA 98635](#)

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Phone: [\(801\) 695-6500](#)

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Email [kyleanita@hotmail.com](mailto:kyleanita@hotmail.com)

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Street Address [11 Pitman Road](#)  
of Parcel [Lyle, WA 98635](#)

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Township, Range, [NW 1/4, SEC 34, T3N, R12E Willamette Meridian](#)  
Section, Qtr. Section

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Tax Lot Number(s) [03123400000500](#)

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Parcel Size [31.6 acres](#)

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Summary of [Replacement of existing structures destroyed by the 2025 Burdoin Fire.](#)  
Proposal [This is not a fire replacement scenario.](#)

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Existing Use [Single-Unit Residential](#)  
of Parcel

**Existing Buildings and Structures:** Please provide the following information for each building and structure on the parcel.

<b>Building or Structure</b> (do not include fences or roads)	<b>Size</b> (square feet)	<b>Height</b> (measure from lowest point)	<b>Length and Width</b>	<b>Year Built</b> (if known)
Residence	1,130 sf	25-ft	38-ft x 38-ft	1932

**Detailed Project Description:** Please describe all proposed development and use of the development, including size, height, exterior colors, construction materials of proposed structures (including access roads), areas of ground disturbance, landscaping details, and structures that you propose to remove. Please describe all aspects of your project in this description or the public notice and final decision may not include an element of your development, which could require a new notice and decision. You may attach additional pages if necessary.

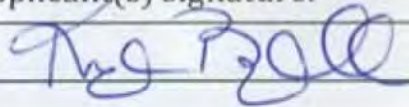
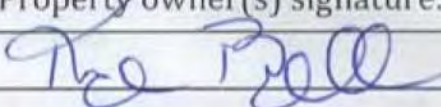
Replacement of five (5) separate outbuilding destroyed during the Burdoin Fire in 2025. Our intention is to construct a new shop/garage structure to replace the structures destroyed during the fire. The proposed replacement structure is being submitted in accordance with Columbia River Gorge Commission Ordinance 350-082-0200(3). The use of the proposed structure will be to storage our personal vehicles, tractor, and trailers. The proposed structure will have a base footprint of 1,496 square feet. The structure will have a total height from the finished grade to roof peak of 20'-3 7/16". The structural support for the proposed structure will consist of light-framed wood construction. The proposed building roof will consist of standing seam metal roofing with a matte earth tone color. The exterior walls will have a 48-inch river rock wainscoting, matching the existing residential structure. The upper portion of the exterior walls will be finished with Hardi-Board lap siding, with color to match the existing residential structure. For information regarding area of ground disturbance, please see the accompanying Geotechnical/Geologic and Structural Assessment Report prepared by Bell Design Company. Replacement landscaping will be consistent with native species, with particular attention being given to fire-resistant plants recommended by the Mid-Columbia Fire Prevention Cooperative. To further enhance fire resistant construction all exterior wall sheathing will consist of Pyro-Guard plywood that contains an pressure impregnated fire-retardant that provide enhanced fire resistance. All garage doors and man-doors will be of metal construction and painted with a matte earth tone paint consistent with the Gorge Commission design guidelines.

**Adjacent Uses:** Please briefly describe the use of parcels that adjoin your parcel, including use, number and types of buildings, approximately distance from the property lines, and access roads.

North of the subject parcel is a 23.4 acre parcel owned by Rebecca Worsley (PO Box 835, Sebastopol, CA 95473)(Parcel # 03122700001900). There were approximately 3 structures on this parcel prior to the Burdoin Fire. Use of this parcel is unknown.

East of the subject parcel is a 150.3 acre parcel owned by Gail Castle (21 Sorensen Road, Lyle, WA 98635)(Parcel #0312400000100). Prior to the fire there were 6 structures. Post-fire all structures were destroyed by the Burdoin Fire. The primary use of this parcel is agricultural.

**Signatures and Authorization to Access the Property:** The property owner and holders of easements and partial interests indicate that they are aware that this application is being made on the subject property and the property owner authorizes the Gorge Commission and the Commission's designees reasonable access to the site to evaluate the application. Property owners and easement or partial interest holders may sign copies of this signature page.

Applicant(s) signature:	Date
	10/23/25
Property owner(s) signature:	Date
	10/23/25
Easement and Partial Interest(s) signature:	Date

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Date

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Property owner(s) signature:

Date

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Easement and Partial Interest(s) signature:

Date

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# Site Plan

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(Indicate scale: each grid equals \_\_\_ x \_\_\_ feet)

See attached construction drawings.

# Key Viewing Areas

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Key viewing areas are important public viewpoints and areas that afford opportunities to view the Gorge scenery (350-082-0070(108)).

Please check which of the following key viewing areas that can be seen from your proposed development site, even if the building site is blocked by trees. You do not need to check key viewing areas that are blocked by topography.

- Historic Columbia River Highway
- Old Highway 8
- Highway I-84
- Washington State Route 14
- Washington State Route 141
- Washington State Route 142
- Panorama Point Park
- Columbia River
- Rowena Plateau and Nature Conservancy Viewpoint
- Cook-Underwood Road

If your project could be visible from one or more key viewing areas, then you must submit elevation drawings and landscaping details.

**Elevation drawings** must show the sides of proposed buildings that could be visible from key viewing areas, must be drawn to scale, and must include the following:

- Geometrical exterior of the length and width of structures as seen from a horizontal view.
- Sizes and dimensions of windows, doors, and covered openings;
- Natural grade
- Finished grade

**Landscape details** must show how you propose to screen your project from key viewing areas and must include the following:

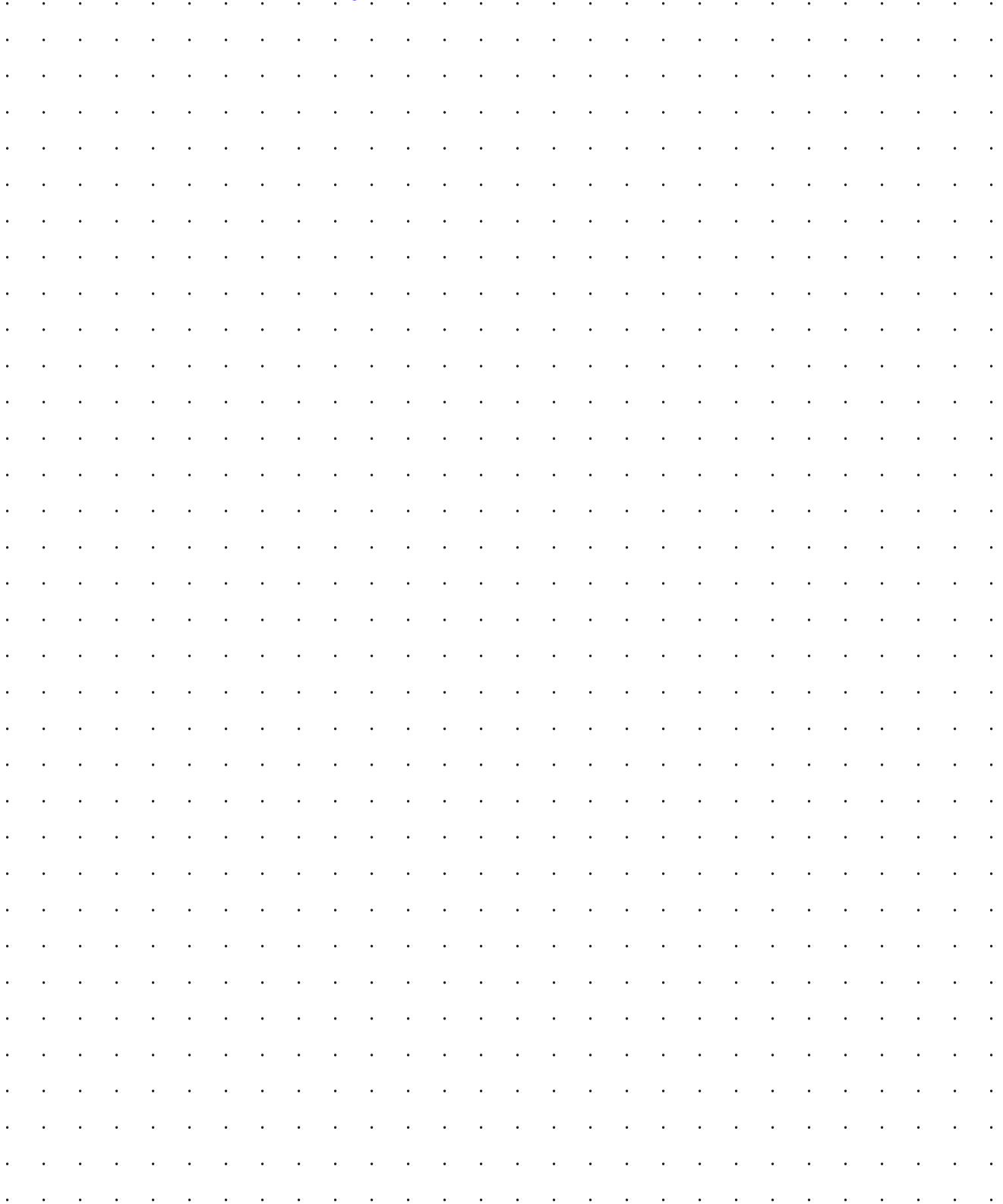
- Location of plants used
- Number of plants
- Size of plants
- Type of plants
- Irrigation provisions or other measures to ensure the survival of landscaping planted for screening purposes
- Location of existing and proposed topographical features, such as berms, that would screen your project.

# Elevations and Site Plan Details

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(Indicate scale: each grid equals \_\_\_ x \_\_\_ feet)

[See attached construction drawings.](#)



# Adjacent Property Owners

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You must submit names and address of adjacent property owners within a specified distance (200 feet or 500 feet (350-082-0110)) of the perimeter of your parcel. The following list specifies the distance within which property owners must be notified of your proposal. You only need to provide the names and address (along with the parcel number); the Commission will send the notice.

Klickitat County's Interactive Mapping program can assist in obtaining this property owner information. The mapping program is found on Klickitat County's website at <http://www.klickitatcounty.org/524/Interactive-Mapping-Program>. Use the search function of the mapping tool to find your parcel and the adjacent property owners. Clicking on the parcel will display the owner's name, mailing address, and tax lot number. You may use the form on the next page to record the names and addresses or you may submit forms which the county may provide you.

## **Landowners within 200 feet**

- All applications, except those listed below

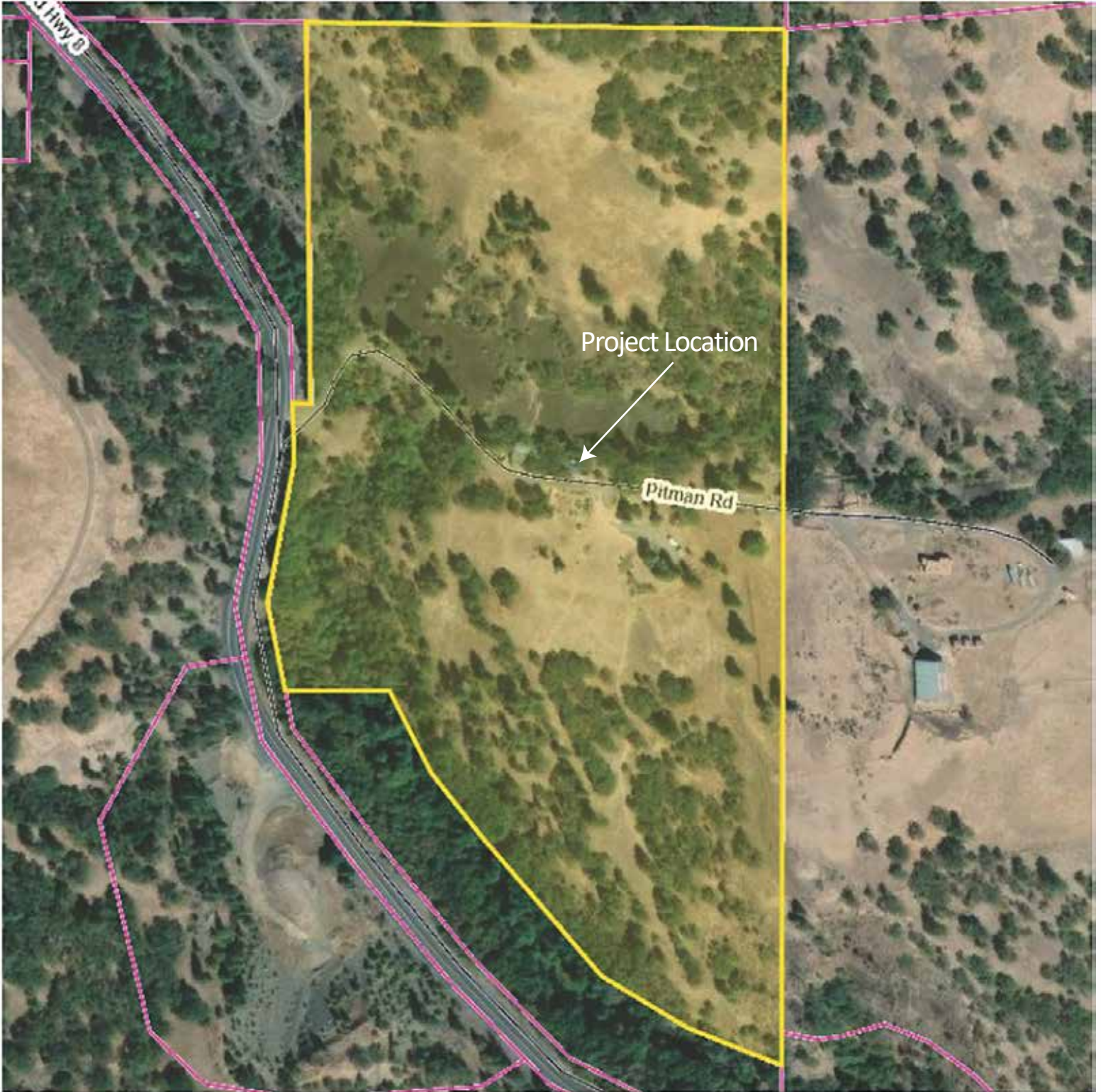
## **Landowners within 500 feet**

- Single family dwellings in the GMA Residential Land Use Designation adjacent to GMA Agriculture or Forest Land Use Designations
- Commercial events and special uses in historic buildings adjacent to GMA Agriculture or Forest Land Use Designations
- Non-farm single family dwellings in the GMA Large-Scale Agriculture Land Use Designation
- Within GMA Forest Land Use Designations: utility facilities, railroads, home occupations, fruit & produce stands, wineries, wine sales/tasting rooms, ag. product processing and packaging, mineral resources, geothermal resources, aquaculture, boarding of horses, temporary asphalt/batch plants, expansion of non-profit camps/retreats/conference centers, bed and breakfasts, non-profit learning/research facilities, fish processing operations, road spoils disposal sites

# Adjacent Property Owners

<b>Township, Range, Section, Tax Lot Number</b>	<b>Name and Address (and e-mail if possible)</b>
03122700001900	Rebecca Worsley PO Box 835 Sebastopol, CA 95473
03123400000100	Gail Castle 21 Sorensen Road Lyle, WA 98635

# Brazell Site Plan



## Legend

- |                 |             |
|-----------------|-------------|
| County Boundary | Roads       |
| —               | • City      |
| Towns (Points)  | - County    |
| •               | - OtherGovt |
| City Limits     | Private     |
| □               | State       |
|                 | Parcels     |

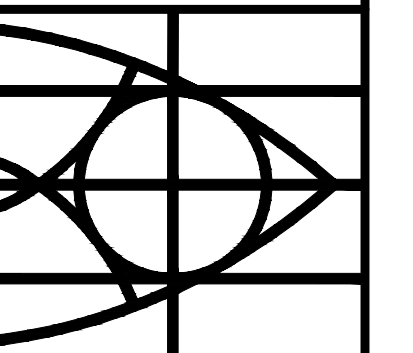
200 ft



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STEVEN L. BANKS

20 BRISTOL ROAD, WHITE SALMON, WASHINGTON 98672  
PHONE (509) 774-8084 EMAIL: sibanks502@gmail.com



CONSTRUCTION NOTES

BRAZELL SHOP

11 PITMAN ROAD LYLE, WA

JOB NO.	25BM018
DATE	10/20/2025
DRAWN BY	SLB
CHECKED BY	SLB
REVISIONS	DATE
RECORD DRAWINGS	DATE

SHEET NO.  
S0.0

FORMALDEHYDE, HALOGENS, SULFATES, CHLORIDES, OR AMMONIUM PHOSPHATE.  
6. PLYWOOD TREATED WITH PYRO-GUARD SHALL BE MANUFACTURED UNDER US PRODUCT STANDARDS-PS1 OR PS2. PANELS SHALL HAVE A MINIMUM BOND DURABILITY OF EXPOSURE 1.  
7. GRADE MARKED LUMBER TREATED WITH PYRO-GUARD SHALL BE IN ACCORDANCE WITH PS20.

HVAC  
ALL HEATING, VENTILATION AND AIR CONDITIONING DESIGN CALCULATIONS AND DRAWINGS TO BE COMPLETED BY A COMPETENT AND EXPERIENCED MECHANICAL ENGINEER OR DESIGNER.

INSULATION AND MOISTURE PROTECTION

GENERAL  
UNLESS NOTED OTHERWISE, INSULATION SHALL CONFORM TO THE WASHINGTON STATE ENERGY CODE.

INSULATION BAFFLES TO MAINTAIN 1-1/2 INCH CLEAR SPACE ABOVE INSULATION IF ROOF.

BAFFLES TO EXTEND 6-INCHES ABOVE BATT INSULATION.

BAFFLES TO EXTEND 12-INCHES ABOVE LOOSE FILL INSULATION.

INSULATE CORNERS.

FACE STAPLE BATTS.

FRICITION FIT FACED BATTS.

USE 4 MIL (0.004-INCH) POLYETHYLENE VAPOR BARRIER AT WALLS.

USE PVA PAINT WITH A DRY CUP PERM RATING OF ONE (MAXIMUM).

INFILTRATION CONTROL

EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF AND BETWEEN WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, AND ROOF, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE, INCLUDING ACCESS PANELS INTO UNHEATED SPACES, SHALL BE SEALED, CAULKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR INFILTRATION.

ALL EXTERIOR WINDOWS SHALL BE DESIGNED TO ADMIT AIR INFILTRATION INTO OR FROM THE BUILDING ENVELOPE WHICH SHALL BE SUBSTANTIATED BY TESTING TO STANADARD ASTM E283.73.

VAPOR BARRIERS/GROUND COVERS

A GROUND COVER OF 6 MIL (0.006-INCH) BLACK POLYETHYLENE OR EQUIVALENT SHALL BE LAID OVER THE GROUND. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE EDGES OF THE SLAB-ON-GRADE.

PYRO-GUARD PLYWOOD SPECIFICATION

PART 1--GENERAL PRODUCT INFORMATIONS

- LUMBER, PLYWOOD, AND ENGINEERED WOOD PRODUCTS BEARING THE PYRO-GUARD MARK HAS A FLAME SPREAD RATING OF 25 OR LESS (CLASS A) WHEN TESTED IN ACCORDANCE WITH ASTM E84. "STANDARD TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS." PYRO-GUARD FIRE-RETARDANT-TREATED WOOD SHOWS NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION WHEN THE TEST IS EXTENDED FOR AN ADDITIONAL 20-MINUTE PERIOD. IN ADDITION, THE FLAME FRONT DOES NOT PROGRESS MORE THAN 10 FEET BEYOND THE CENTERLINE OF THE BURNERS AT ANY TIME DURING THE TEST. THE FLAME SPREAD AND SMOKE DEVELOPED INDEX FOR EACH SPECIES AND PRODUCT ARE CLASSIFIED BY UNDERWRITERS LABORATORIES INC. (UL).
- PYRO-GUARD FIRE-RETARDANT-TREATED WOOD IS MANUFACTURED UNDER THE INDEPENDENT THIRD-PARTY INSPECTION OF UL FOLLOW-UP SERVICE AND EACH PIECE SHALL BEAR THE UL CLASSIFIED MARK INDICATING THE EXTENDED 30 MINUTE ASTM E84 TEST.
- PYRO-GUARD SHALL BE KILN DRIED AFTER TREATMENT (KDAT). THE KILN DRYING PROCESS IS MONITORED BY UL AND THE UL MARK SHALL APPEAR ON THE LABEL.
- PYRO-GUARD SHALL BE PRODUCED IN ACCORDANCE WITH UL EVALUATION REPORT ER7002-01 (UL ER7002-01), LATEST VERSION.
- PYRO-GUARD MEETS THE PERFORMANCE REQUIRMENTS OF AWPA U1, COMMODITY SPECIFICATION H FOR USE CATERGORY UCFA AND AWPA C20/C27 (TYPE A, HT).
- PYRO-GUARD IS LISTED ON THE DEPARTMENT OF DEFENSE (DoD) QUALIFIED PRODUCTS LIST (QPL) AND MEETS THE REQUIREMENTS OF MIL-L-19140-E AS A TYPE 1 FIRE-RETARDANT TREATMENT FOR LUMBER AND PLYWOOD.

PART 2--FIRE-RETARDANT TREATMENT

- TREATMENT SHALL BE PYRO-GUARD MANUFACTURED BY HOOVER TREATED WOOD PRODUCTS, INC.
- PYRO-GUARD IS AN INTERIOR "TYPE A" FIRE-RETARDANT WITH INDIVIDUAL SURFACE BURNING CHARACTERISTICS FOR THE SPECIES AND PRODUCTS LISTED UNDER UL CERTIFICATIONS.
- STRUCTURAL PERFORMANCE OF PYRO-GUARD FIRE-RETARDANT-TREATED WOOD HAS BEEN TESTED IN ACCORDANCE WITH ASTM D5664 FOR LUMBER AND ASTM D5516 FOR PLYWOOD. EVALUATION OF PLYWOOD DATA IS IN ACCORDANCE WITH ASTM D6305. EVALUATION OF LUMBER DATA IS IN ACCORDANCE WITH ASTM D6841. THE RESULTING DESIGN VALUE AND SPAN RATING ADJUSTMENTS ARE PUBLISHED IN UL ER7002-01, WHICH INCLUDES EVALUATION OF HIGH TEMPERATURE (HT) STRENGTH TESTING FOR ROOF APPLICATIONS.
- PYRO-GUARD FIRE-RETARDANT-TREATED WOOD IS KILN DRIED AFTER TREATMENT (KDAT) TO MAXIMUM MOISTURE CONTENT OF 19% FOR LUMBER AND 15% FOR PLYWOOD.
- PYRO-GUARD DOES NOT CONTAIN VOC'S, UREA FORMALDEHYDE OR

REINFORCING STEEL  
REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615, GRADE 40, Fy=40,000 PSI. UNLESS NOTED OTHERWISE, LENGTHS OF LAPS SHALL BE 26-INCHES.

PROVIDE ELBOW BARS TO LAP HORIZONTAL BARS AT CORNERS AND INTERSECTIONS. ALL HOOKS SHALL BE "STANDARD" IN ACCORDANCE WITH ACI 318.

WOOD

GENERAL  
ALL FRAMING SHALL COMPLY WITH THE APPROPRIATE SECTIONS OF CHAPTER 23 OF THE 2018 IBC.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

SOLID BLOCKING OF NOT LESS THAN 2x THICKNESS SHALL BE PROVIDED AT ENDS AND AT ALL SUPPORT OF PURLINS.

UNLESS NOTED OTHERWISE, ALL 2x6 AND 2x8 FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH NO.2 OR EQUAL, AND TREATED WITH PYRO-GUARD. BEAMS AND HEADERS SHALL HAVE AN A MINIMUM ALLOWABLE BENDING STRESS OF 875 PSI.

ALL POSTS SHALL BE DOUGLAS FIR-LARCH NO. 2 AND TREATED WITH PYRO-GUARD.

TRUSSES

PRE-ENGINEERED TRUSSES TO BE DESIGNED FOR LOADS AND CONDITIONS SHOWN ON THESE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER. DESIGN, FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST STANDARDS OF THE MANUFACTURER AND THE 2018 IBC. DESIGN SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. TRUSSES SHALL HAVE ADEQUATE BRIDGING AND BLOCKING AS REQUIRED. SUBMIT SHOP DRAWINGS WITH CALCULATIONS TO THE DESIGNER AND ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. TRUSS MANUFACTURER TO SUBMIT CALCULATIONS TO THE KLICKITAT COUNTY BUILDING DEPARTMENT MITIGATING THE ECCENTRIC LOAD EFFECTS ON THE HEEL JOINTS OF TRUSSES SPANNING MORE THAN 35-FEET USING THE REDUCED ALLOWABLE CONNECTOR LOADS FOR ECCENTRIC LOADING. SUBMIT LAYOUT TO THE KLICKITAT COUNTY BUILDING DEPARTMENT PRIOR TO ERECTION. ALL LUMBER USED FOR THE FABRICATION OF TRUSSES SHALL BE TREATED WITH PYRO-GUARD.

TIMBER CONNECTORS

CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "SIMPSON STRONG TIE," AS SPECIFIED IN SIMPSON CATALOG C-2019. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL NAILS TO BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

MACHINE BOLTS TO BE ASTM A307. ANCHOR BOLTS INTO CONCRETE SHALL BE 5/8-INCH DIAMETER WITH 7-INCHES OF EMBEDMENT INTO CONCRETE UNLESS NOTED OTHERWISE.

ALL NAILS SHALL BE COMMON WIRE NAILS. NAILING SHALL BE IN ACCORDANCE WITH IBC SCHEDULE. 16d COMMON NAIL DIAMETER--(0.162-INCH).

ROOF SHEATHING

SHEATHING SALL BE 7/16-INCH APA RATED SHEATHING AND TREATED WITH PYRO-GUARD. SPAN RATING  $\frac{3}{8}$ , INSTALLED WITH LONG DIMENSION ACROSS SUPPORTS. PANEL END JOINTS SHALL OCCUR AT SUPPORTS. NAIL PANEL EDGES WITH 8d NAILS AT 4-INCHES ON-CENTER AND 10-INCHES ON-CENTER AT INTERMEDIATE SUPPORTS.

SPECIAL CONDITIONS

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS IN THE ROOF AND WALLS WITH ALL THE APPROPRIATE DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE KLICKITAT COUNTY BUILDING DEPARTMENT FOR ALL BUILDING DEPARTMENT REQUIRED INSPECTIONS. DO NOT SCALE DRAWINGS. THE DETAILS SHOWN ARE TYPICAL AND SHALL BE USED FOR LIKE OR SIMILAR CONDITIONS NOT SHOWN.

DOORS AND WINDOWS

DOORS TO THE EXTERIOR MAY HAVE A MAXIMUM 7-3/4 INCH STEP TO A MINIMUM OF 36-INCH DEEP LANDING.

ALL GLAZING SHALL MEET THE REQUIREMENT OF THE WASHINGTON STATE ENERGY CODE UNLESS NOTED OTHERWISE.

ELECTRICAL

ALL ELECTRICAL DESIGN CALCULATIONS AND DRAWINGS TO BE COMPLETED BY A COMPETENT AND EXPERIENCED ELECTRICAL ENGINEER OR DESIGNER.

PLUMBING

ALL PLUMBING DESIGNS TO BE COMPLETED BY A COMPETENT AND EXPERIENCED MECHANICAL ENGINEER OR DESIGNER.

GENERAL  
CODE  
ALL APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION SHALL BE FOLLOWED:

- 2021 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS.
- 2021 INTERNATIONAL MECHANICAL CODE WITH WASHINGTON STATE AMENDMENTS.
- 2024 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

BUILDING

CONSTRUCTION TYPE: V-B

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN MADE. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL DISCREPANCIES TO THE ENGINEER OF RECORD AND DESIGNER AT THE TIME THEY ARE NOTED. DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

ANYTHING MENTIONED IN THESE SPECIFICATIONS AND NOT SHOWN IN THE DRAWINGS, OR SHOWN IN THE DRAWINGS AND NOT MENTIONED IN THESE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.

CONTRACTOR IS RESPONSIBLE FOR ERECTION STABILITY AND TEMPORARY SHORING AS NECESSARY UNTIL PERMANENT SUPPORT AND STIFFENING ARE INSTALLED.

ANY PROPOSED FIELD CHANGES MUST HAVE WRITTEN APPROVAL FROM THE DESIGNER AND ENGINEER OF RECORD. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE DESIGNER AND ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.

DESIGN CRITERIA

GROUND SNOW LOAD	95 PSF
WIND SPEED (3 SE GUST)	110 MPH
SEISMIC DESIGN CATEGORY	C
FROST LINE DEPTH	24 INCHES
WEATHERING	MODERATE
TERMITE	SLIGHT TO MODERATE
DECAY	SLIGHT TO MODERATE

SITE WORK

GENERAL

ALL FOOTINGS TO BEAR ON FIRM, UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. ALL BACKFILL MATERIAL SHALL BE THOROUGHLY COMPACTED.

COMPACTED BACKFILL SHALL BE WELL-COMPACTED, CLEAN, GRANULAR FILL, CONTAINING NO MORE THAN 5% BY WEIGHT OF FINES (PASSING NO. 200 SIEVE) AND SHOULD BE COMPACTED IN 8-INCH LOOSE THICKNESS LIFTS TO AT LEAST 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557. SOIL BENEATH SLAB-ON-GRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER ASTM D1557.

CONCRETE

FOUNDATIONS

EXTEND FOOTING TO FIRM UNDISTURBED SOIL, ASSUMED BEARING CAPACITY OF 1500 PSF.

INTERIOR SLAB-ON-GRADE SHALL BE PLACED ON 6 MIL POLYETHYLENE VAPOR BARRIER.

PROVIDE CONTROL OR CONTRACTION JOINTS IN SLAB-ON-GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF NOT MORE THAN 400 SQUARE FEET EACH. JOINT LOCATIONS SHALL BE APPROVED BY THE DESIGNER AND ENGINEER OF RECORD.

PROVIDE TERMITE CONTROL PROTECTION AS REQUIRED BY IBC 2304.11.

ALL FOOTINGS TO BE CENTERED BELOW CENTERLINE OF COLUMNS.

PLACE 4-INCH CONCRETE SLAB-ON-GRADE ON UNDER-SLAB VAPOR BARRIER OVER 4-INCHES COMPACTED GRAVEL.

REINFORCE SLAB-ON-GRADE WITH NO. 4 REINFORCING STEEL AT 24-INCHES ON-CENTER EACH WAY.

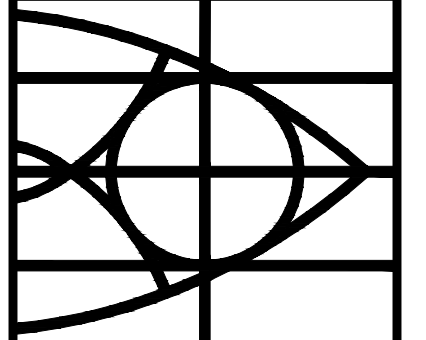
CAST-IN-PLACE CONCRETE

f<sub>c</sub>=3000 PSI AT 28 DAYS. MINIMUM 5-1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE AND A MAXIMUM OF 6-3/4 GALLONS OF WATER PER 94-LB SACK OF CEMENT. NO SPECIAL INSPECTION REQUIRED. TOTAL AIR ENTRAINMENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7%. MAXIMUM SIZED AGGREGATE IS 1-1/2 INCHES. MAXIMUM SLUMP IS 4 INCHES. ALL REINFORCING STEEL DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO POURING CONCRETE. ANCHOR BOLTS FOR PRESSURE TREATED WOOD TO FOOTINGS TO BE 5/8-INCH DIAMETER WITH 7-INCH MINIMUM EMBEDMENT INTO CONCRETE AND MAXIMUM SPACING OF 3-FEET ON-CENTER UNLESS NOTED OTHERWISE ON THE PLANS.

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STEVEN L. BANKS

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PHONE (509) 774-8084 EMAIL: sibanks502@gmail.com



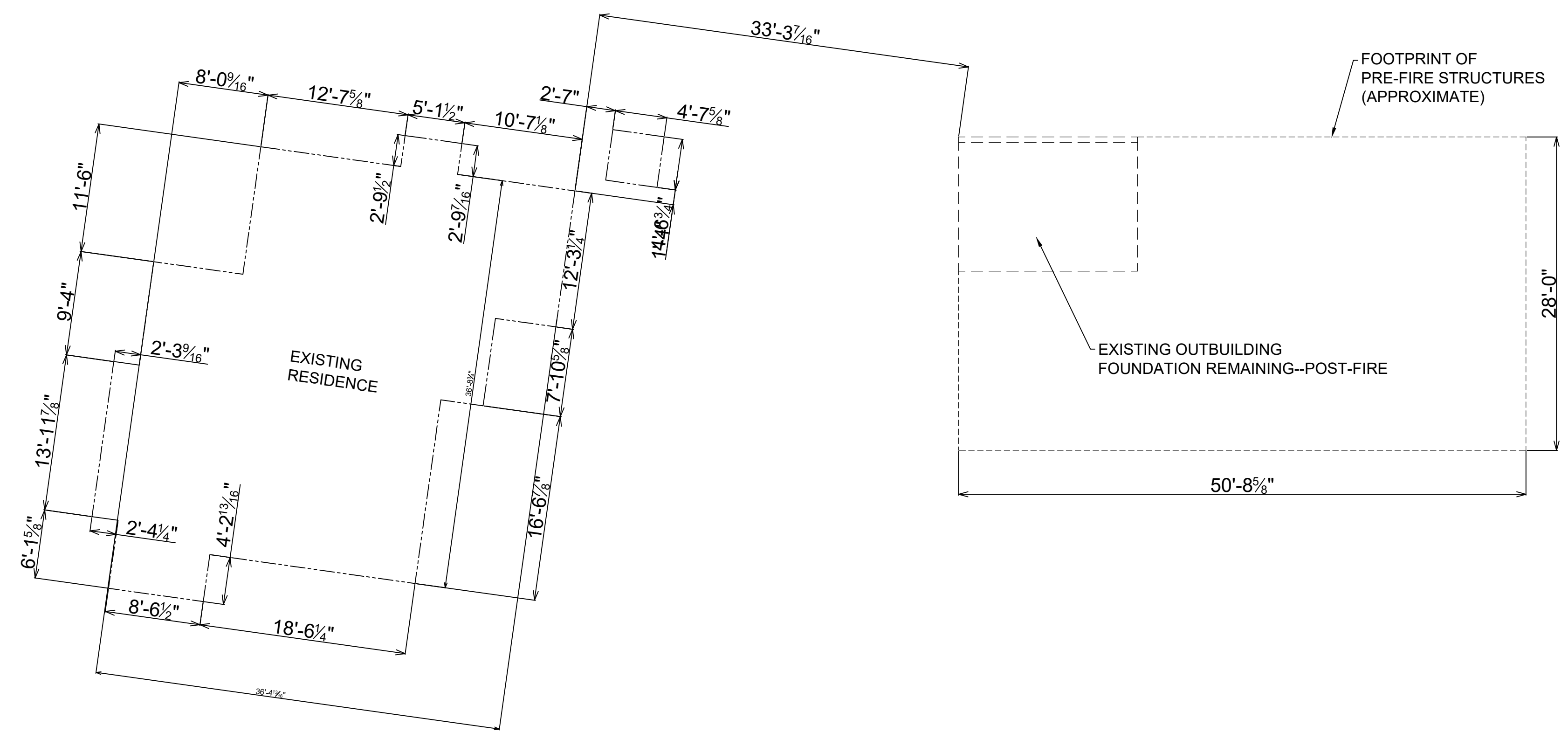
EXISTING CONDITIONS

BRAZELL SHOP

11 PITMAN ROAD LYLE, WA

JOB NO.	25BM018
DATE	10/20/2025
DRAWN BY	SLB
CHECKED BY	SLB
REVISIONS	DATE
RECORD DRAWINGS	DATE

SHEET NO.  
S1.0



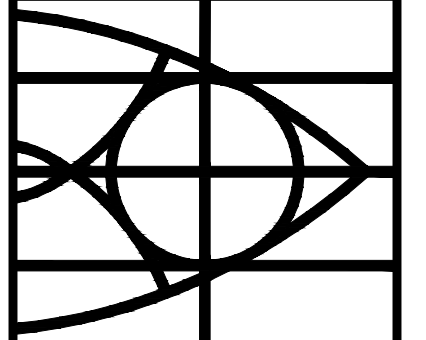
PITMAN ROAD

C-1 EXISTING CONDITIONS  
S1.0 SCALE: 1/8" = 1'-0"

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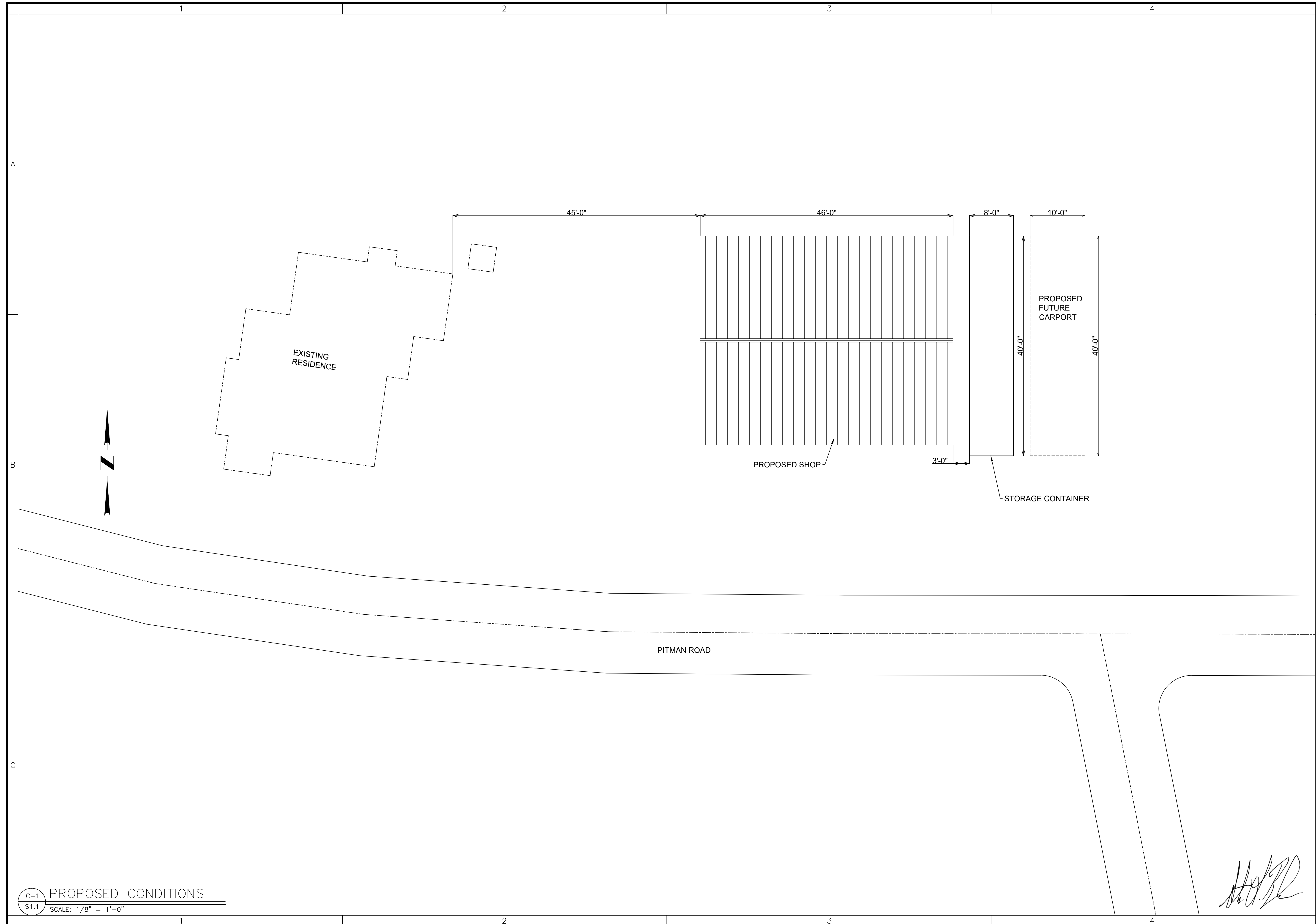
PROPOSED CONDITIONS

BRAZELL SHOP

11 PITMAN ROAD LYLE, WA

JOB NO.	25BM018
DATE	10/20/2025
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SHEET NO.  
S1.1

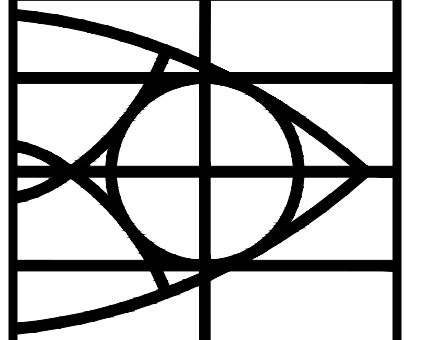


C-1 PROPOSED CONDITIONS  
S1.1 SCALE: 1/8" = 1'-0"

THIS LINE IS 1" LONG. IF THIS LINE IS NOT 1" LONG, ADJUST SCALE ACCORDINGLY

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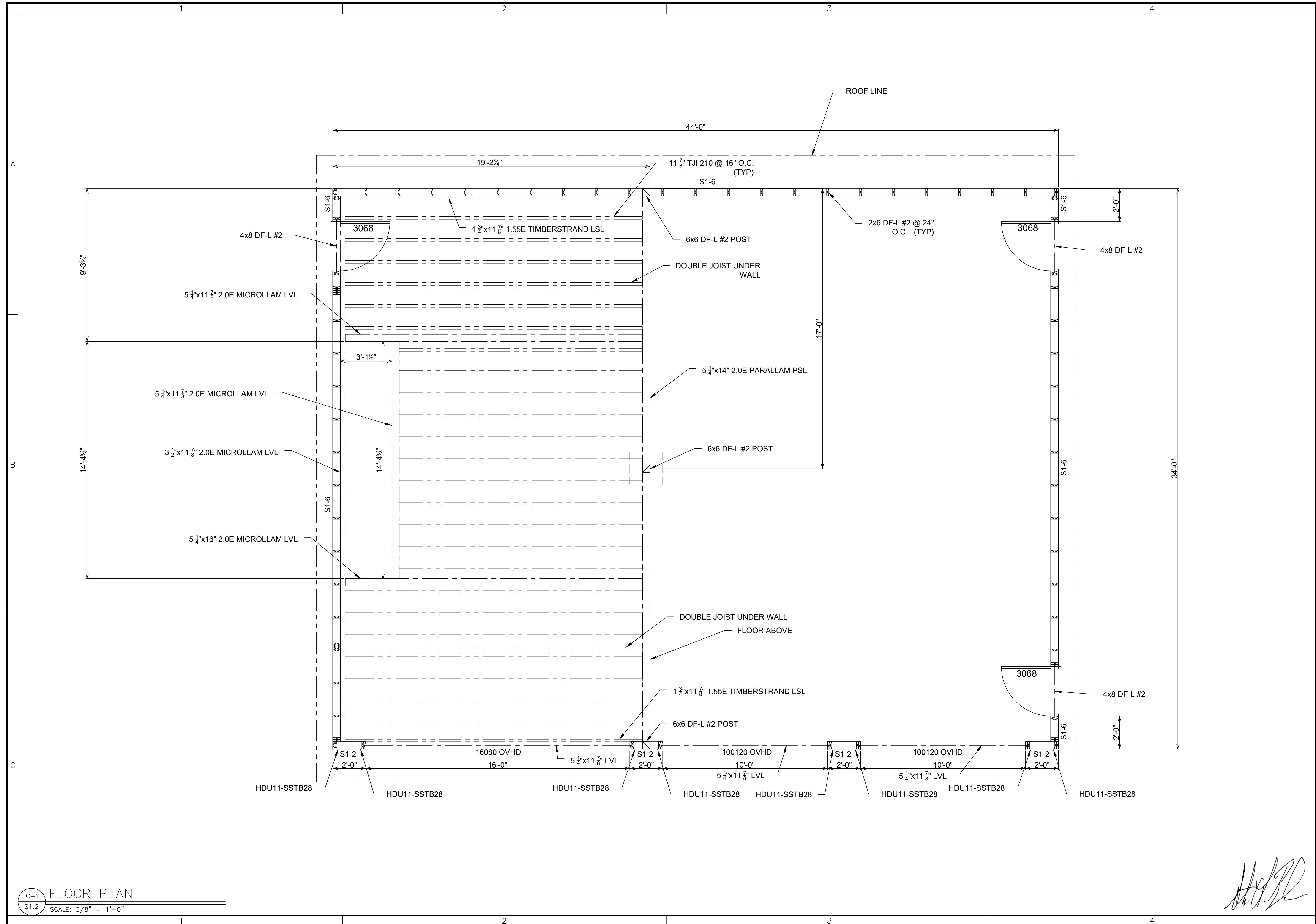
FLOOR PLAN

BRAZELL SHOP

11 PITMAN ROAD LYLE, WA

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SHEET NO.  
S1.2



C-1 FLOOR PLAN  
S1.2 SCALE: 3/8" = 1'-0"

*[Handwritten signature]*

THIS LINE IS 1" LONG. IF THIS LINE IS NOT 1" LONG, ADJUST SCALE ACCORDINGLY

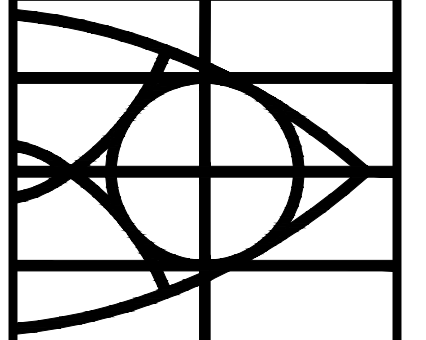




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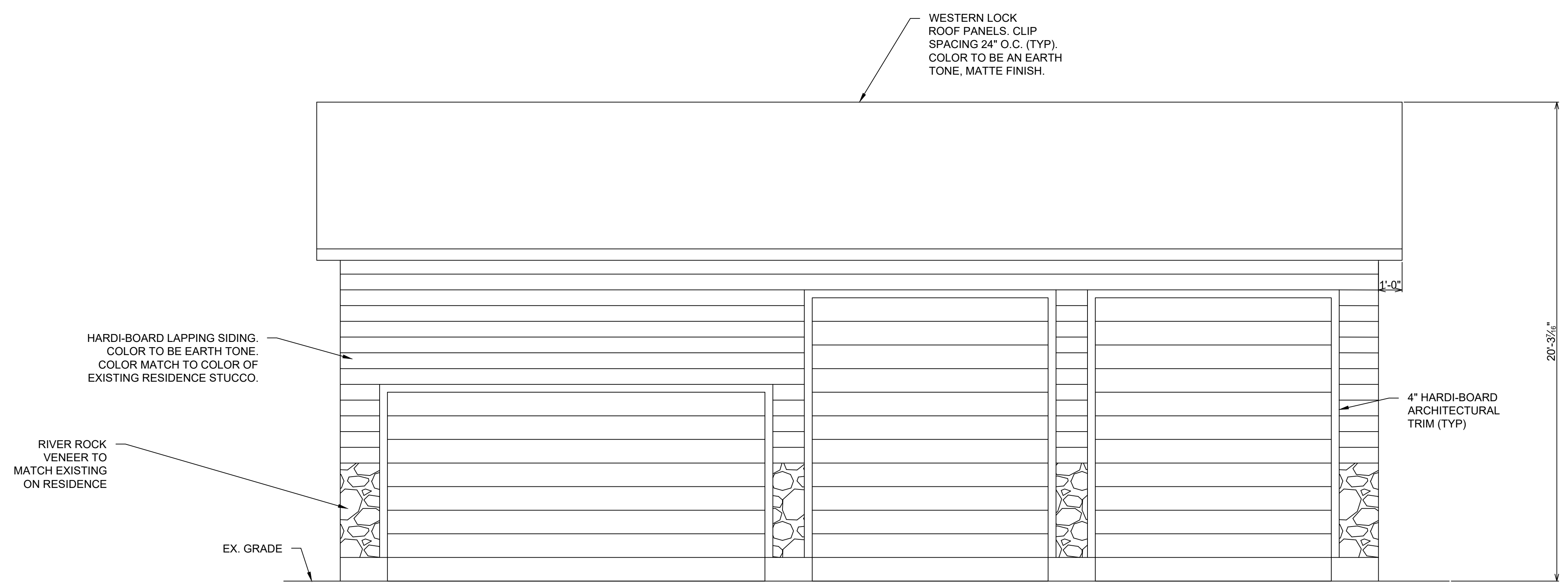
SOUTH ELEVATION

BRAZELL SHOP

11 PITMAN ROAD LYLE, WA

JOB NO.	25BM018
DATE	10/20/2025
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SHEET NO.  
S1.5

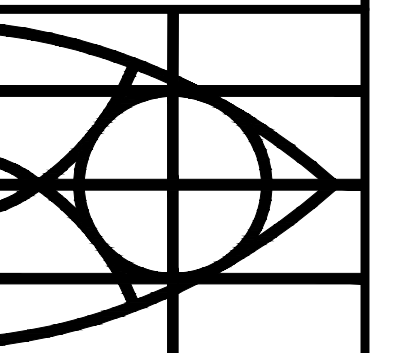


**GARAGE DOOR NOTES:**  
1. COLOR OF GARAGE DOORS SHALL BE A MATTE EARTH TONE COLOR.

C-1 SOUTH ELEVATION  
S1.5 SCALE: 3/8" = 1'-0"

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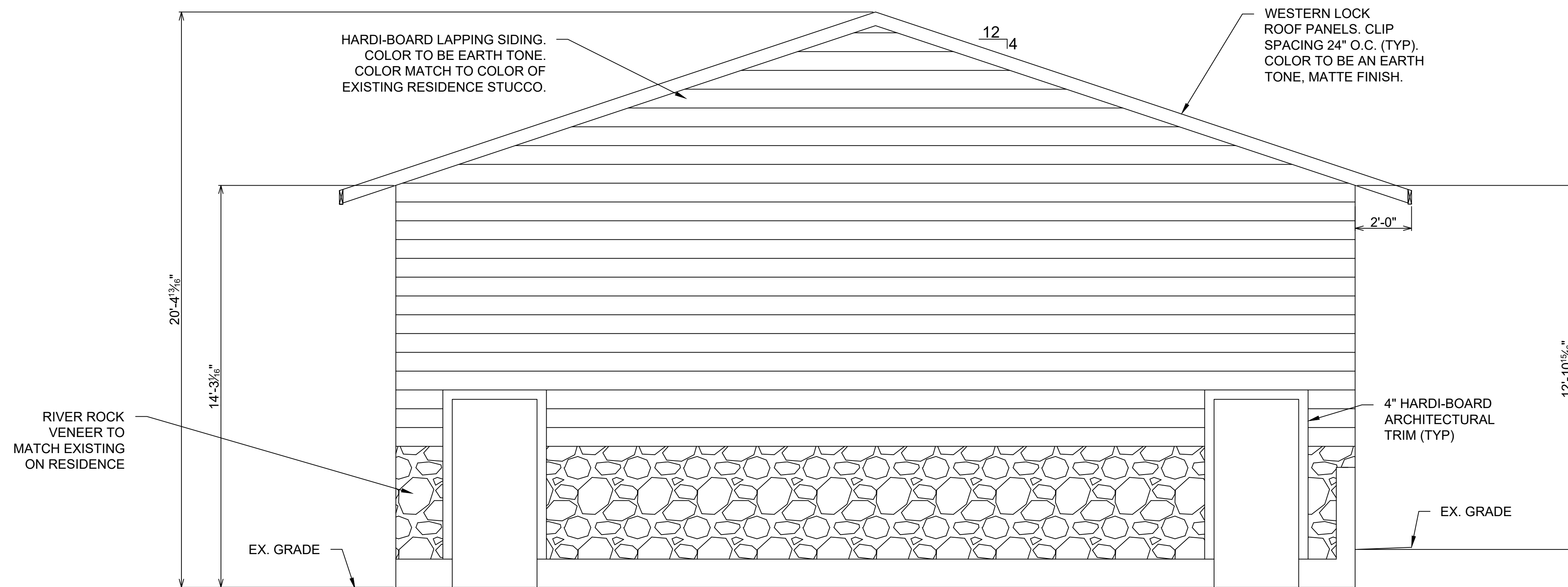
EAST ELEVATION

BRAZELL SHOP

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SHEET NO.  
S1.6

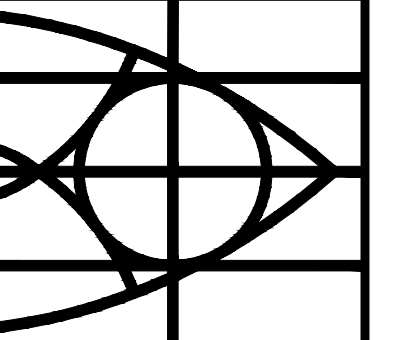


**DOOR NOTES:**  
1. COLOR OF DOORS SHALL BE A MATTE EARTH TONE COLOR.

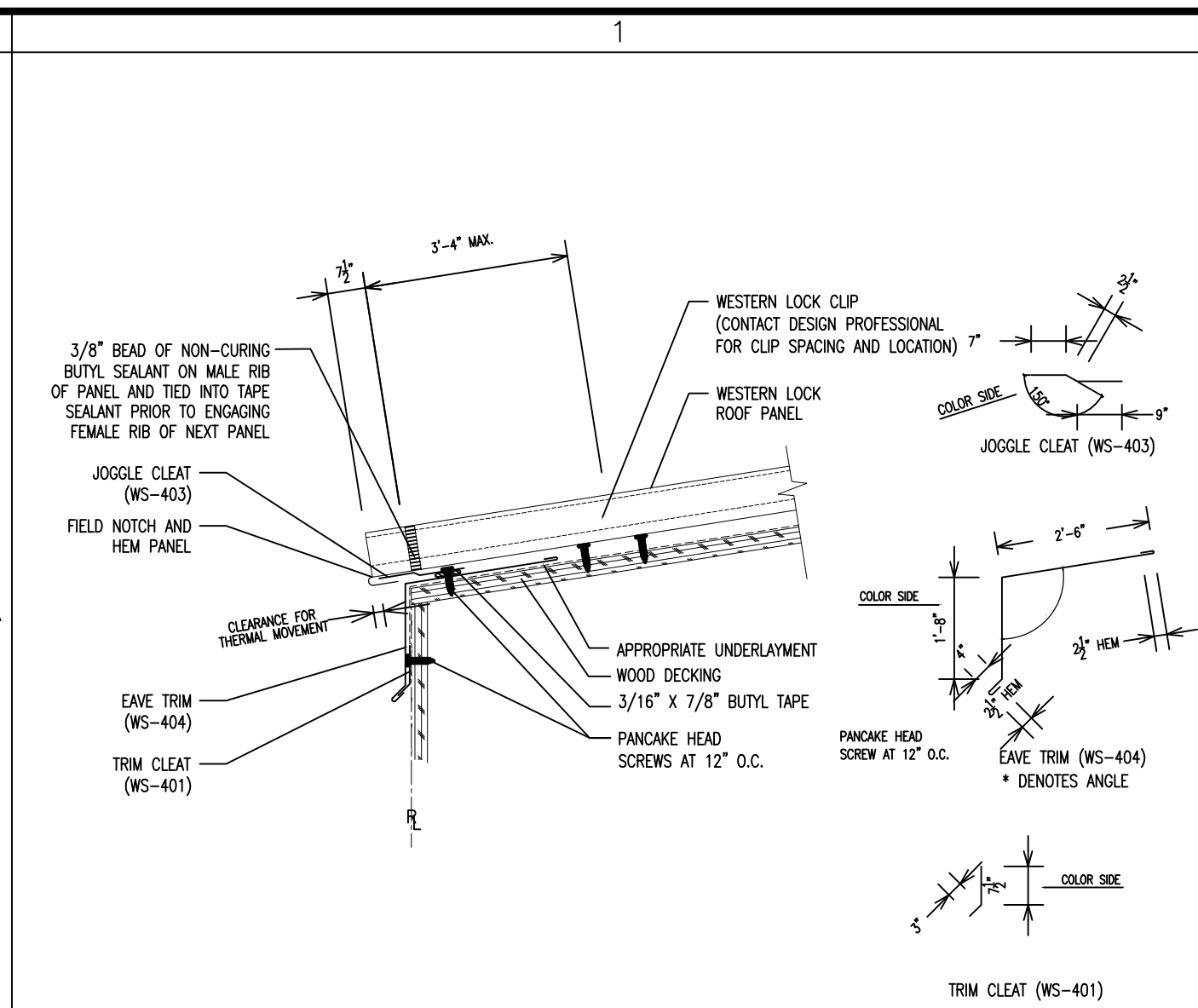
C-1 EAST ELEVATION  
S1.6 SCALE: 3/8" = 1'-0"



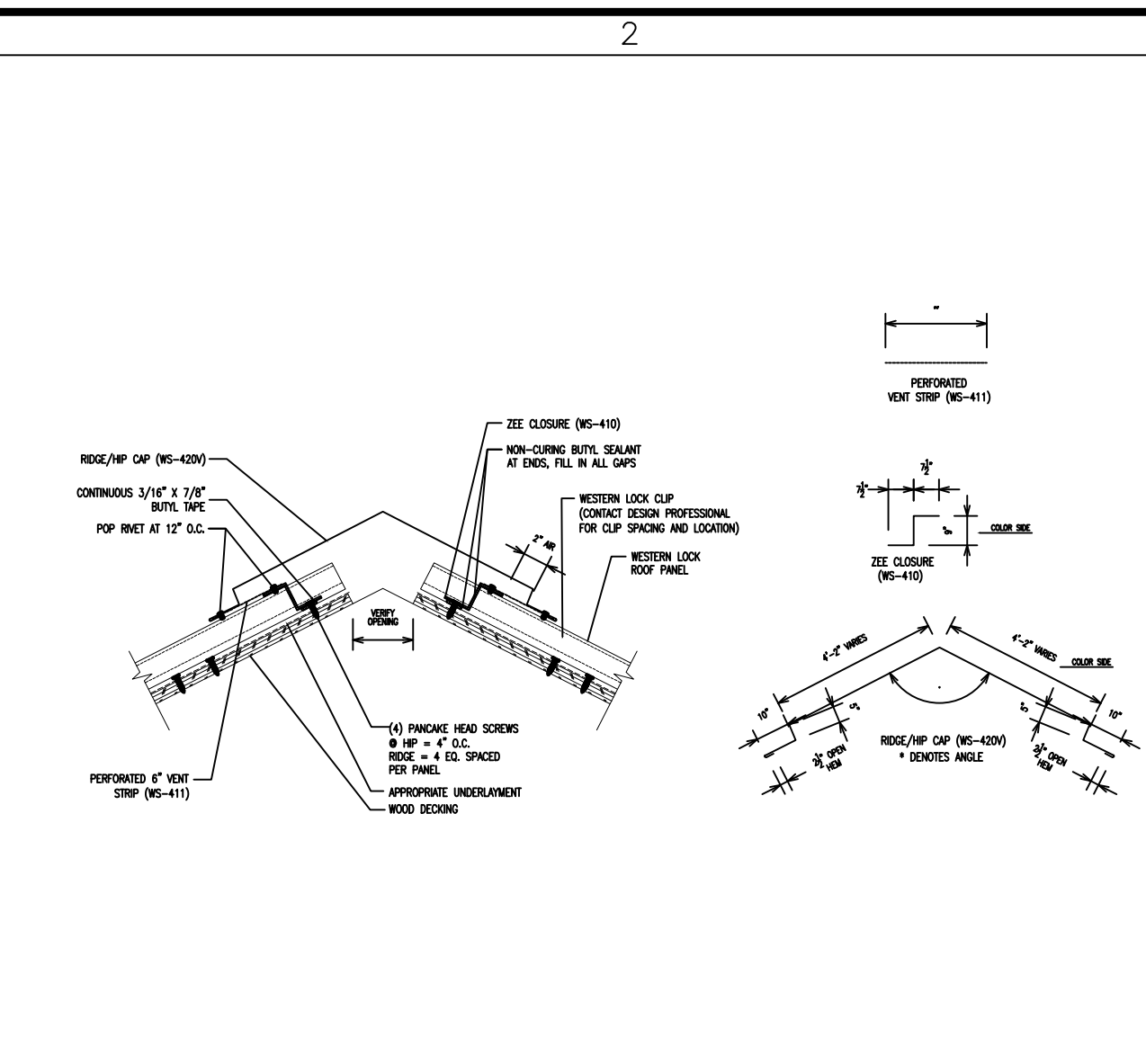




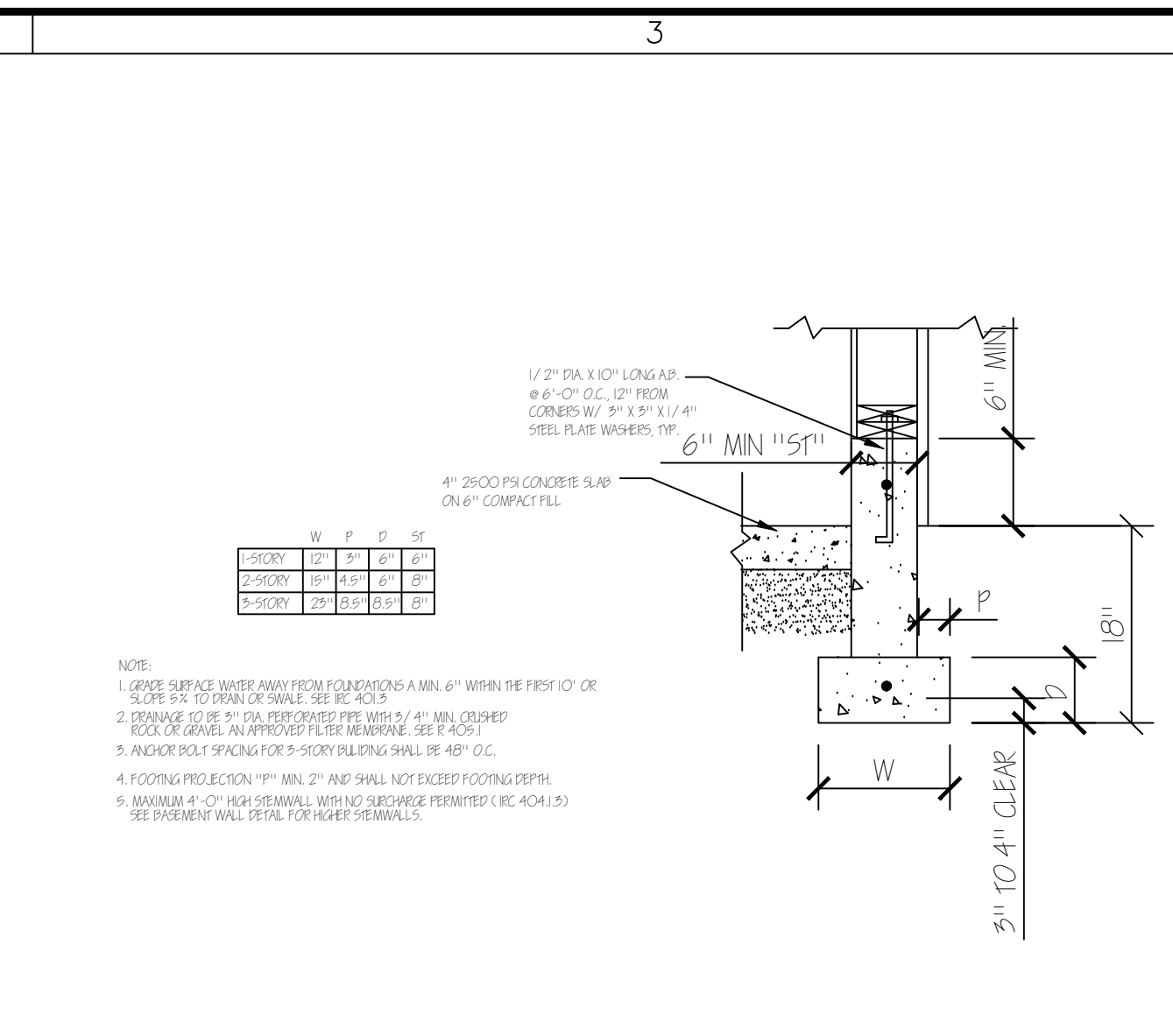
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RECORD DRAWINGS	DATE



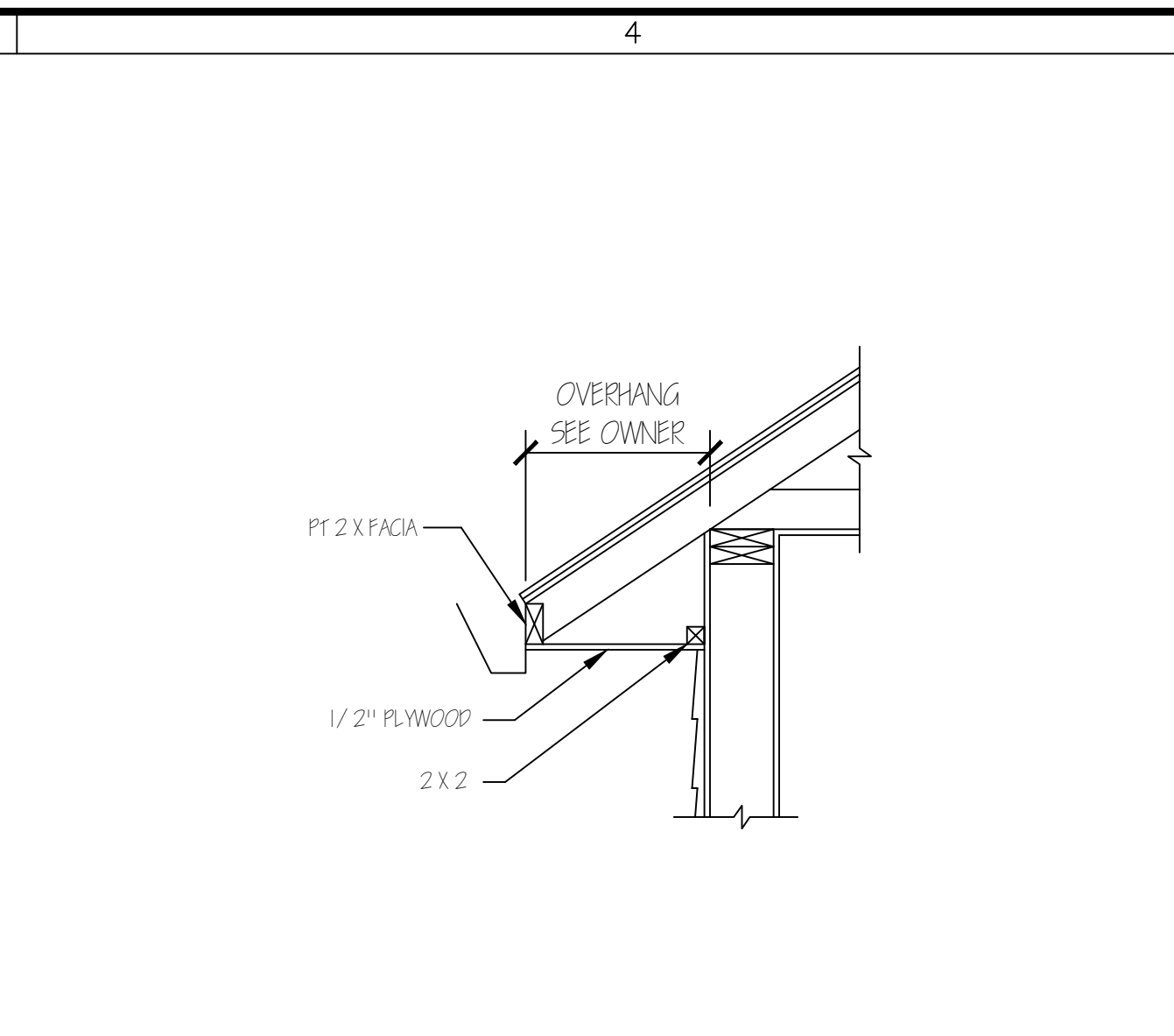
A-1 ROOF EAVE DETAIL  
S1.9 SCALE: N.T.S.



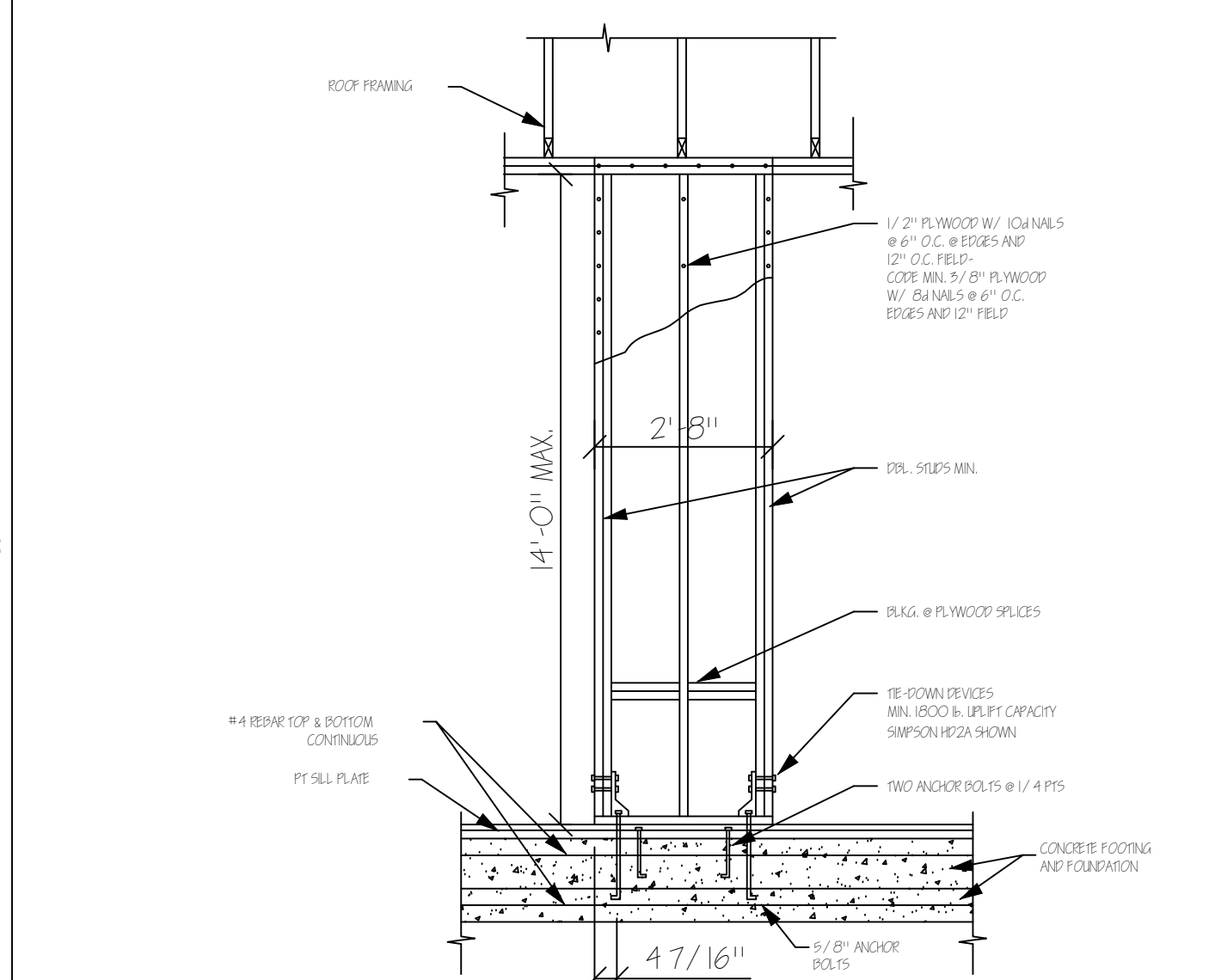
A-2 ROOF PEAK DETAIL  
S1.9 SCALE: N.T.S.



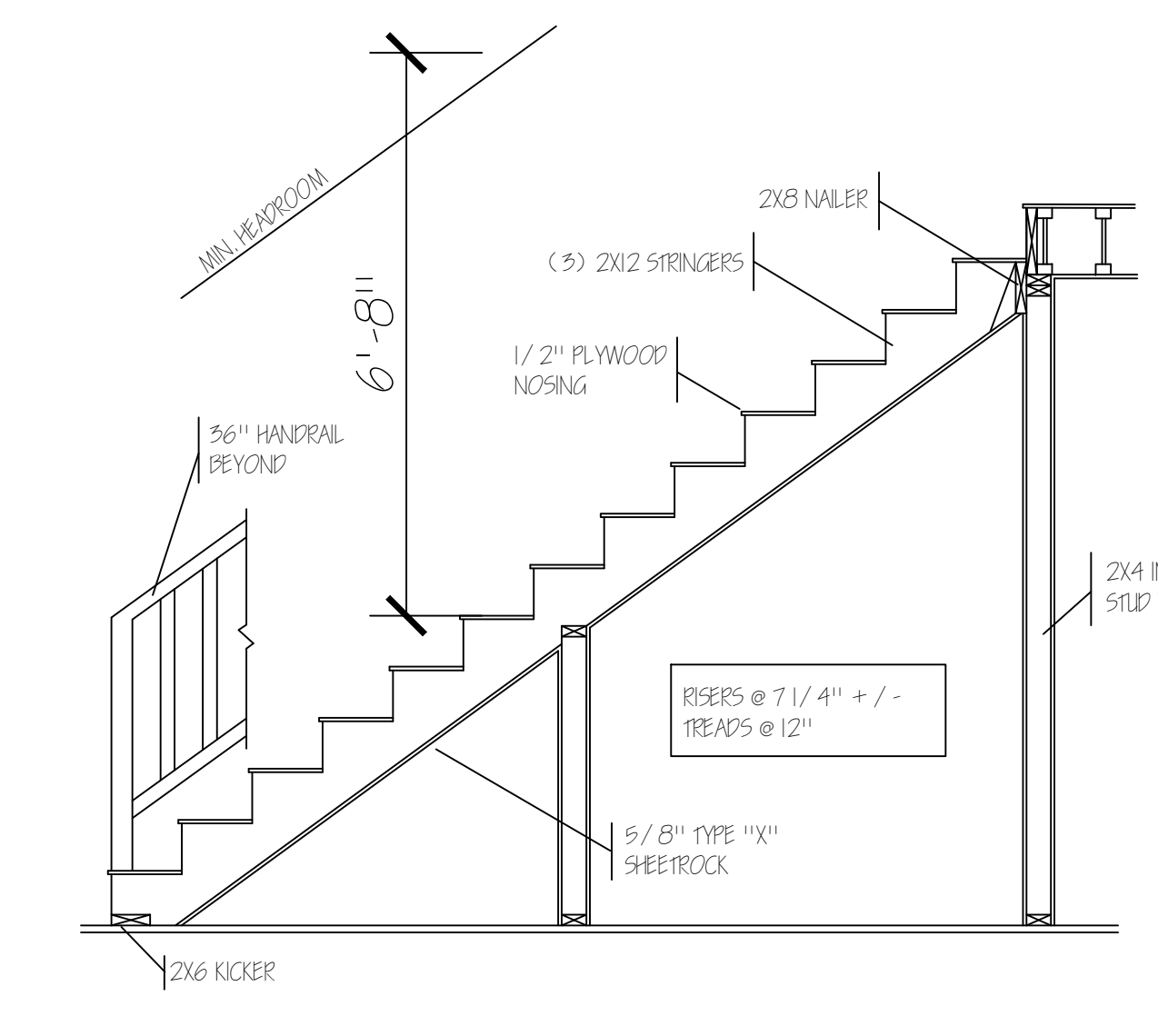
A-3 FOUNDATION DETAIL  
S1.9 SCALE: N.T.S.



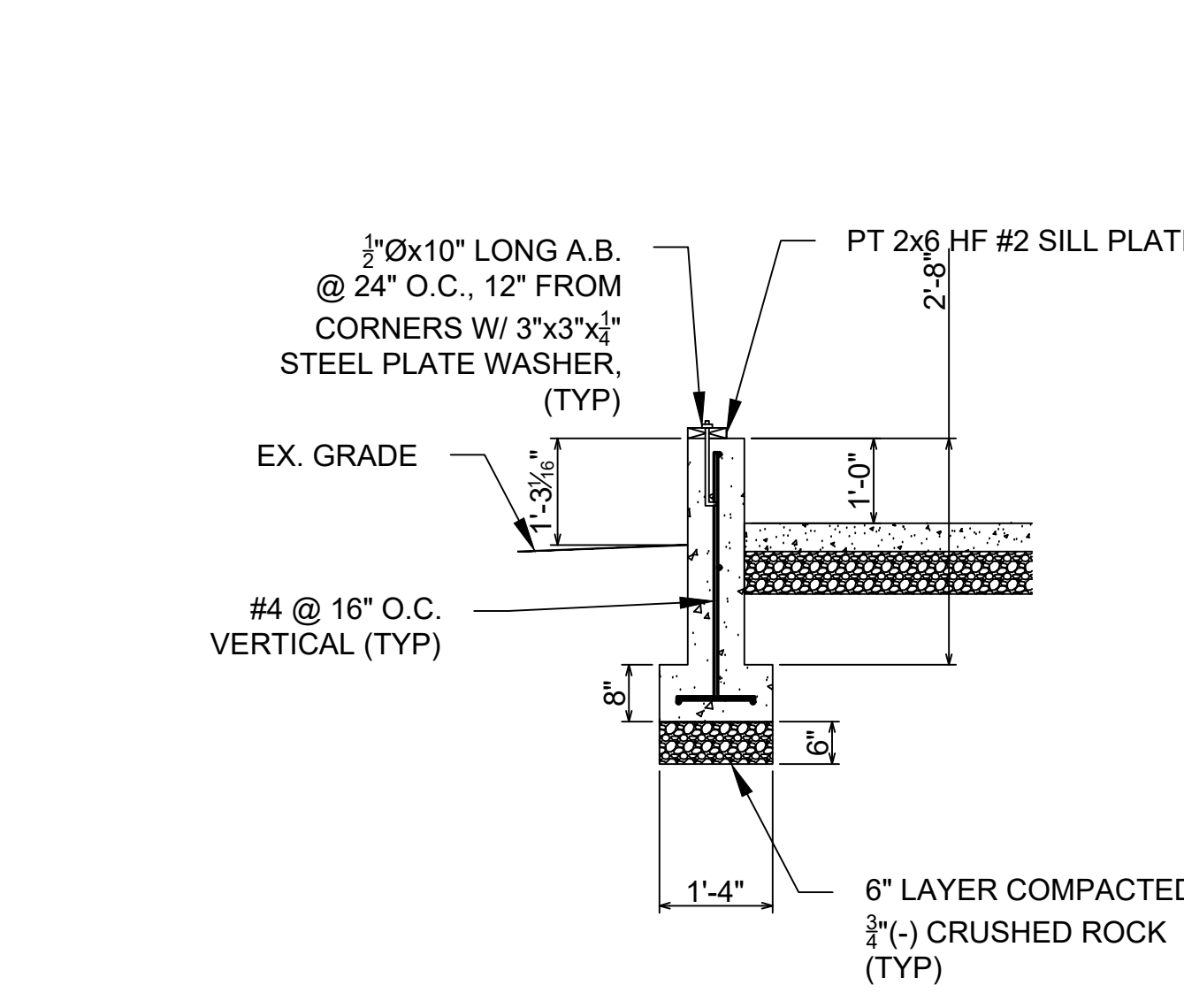
A-4 SOFFIT DETAIL  
S1.9 SCALE: N.T.S.



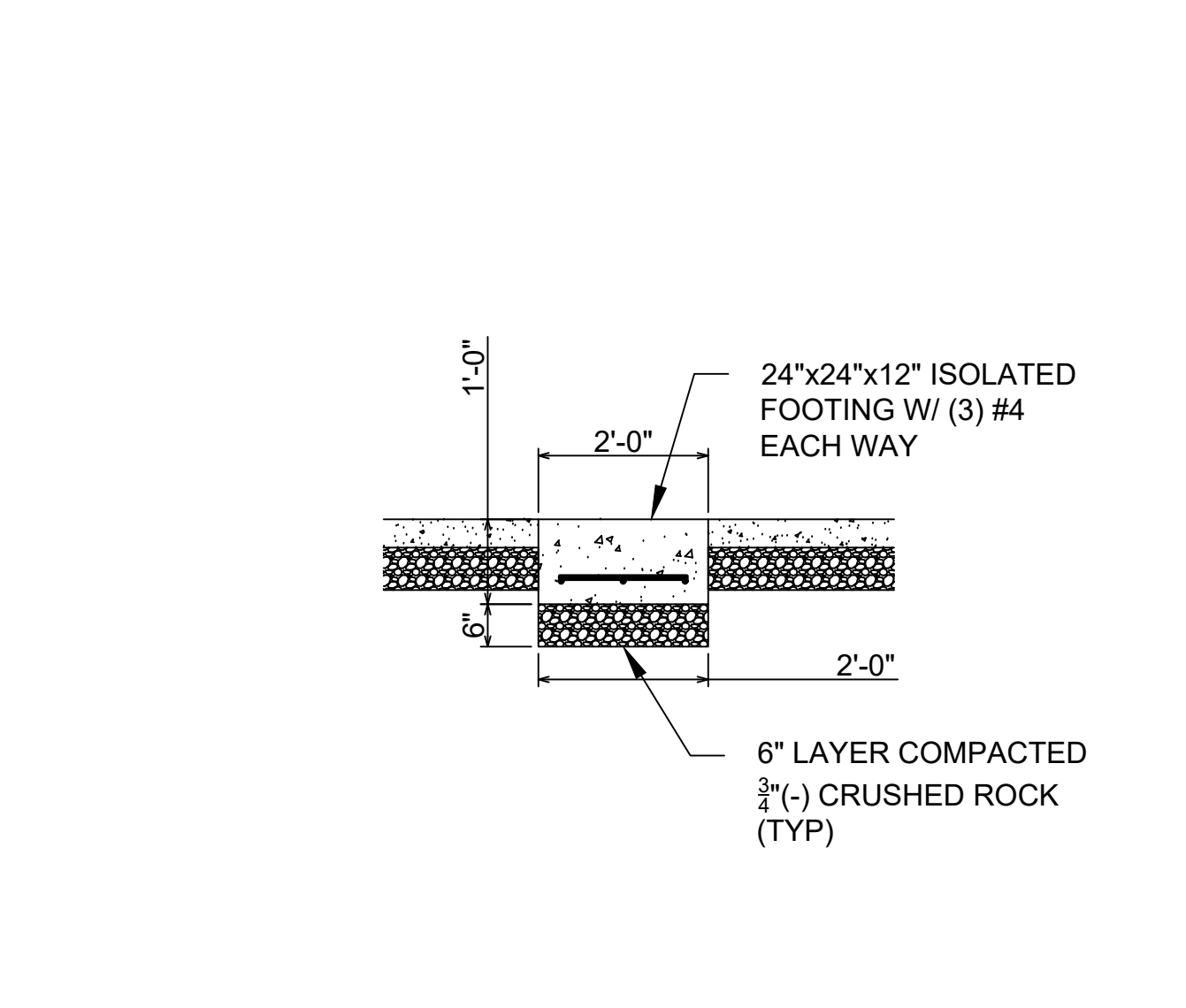
B-1 LRP DETAIL  
S1.9 SCALE: N.T.S.



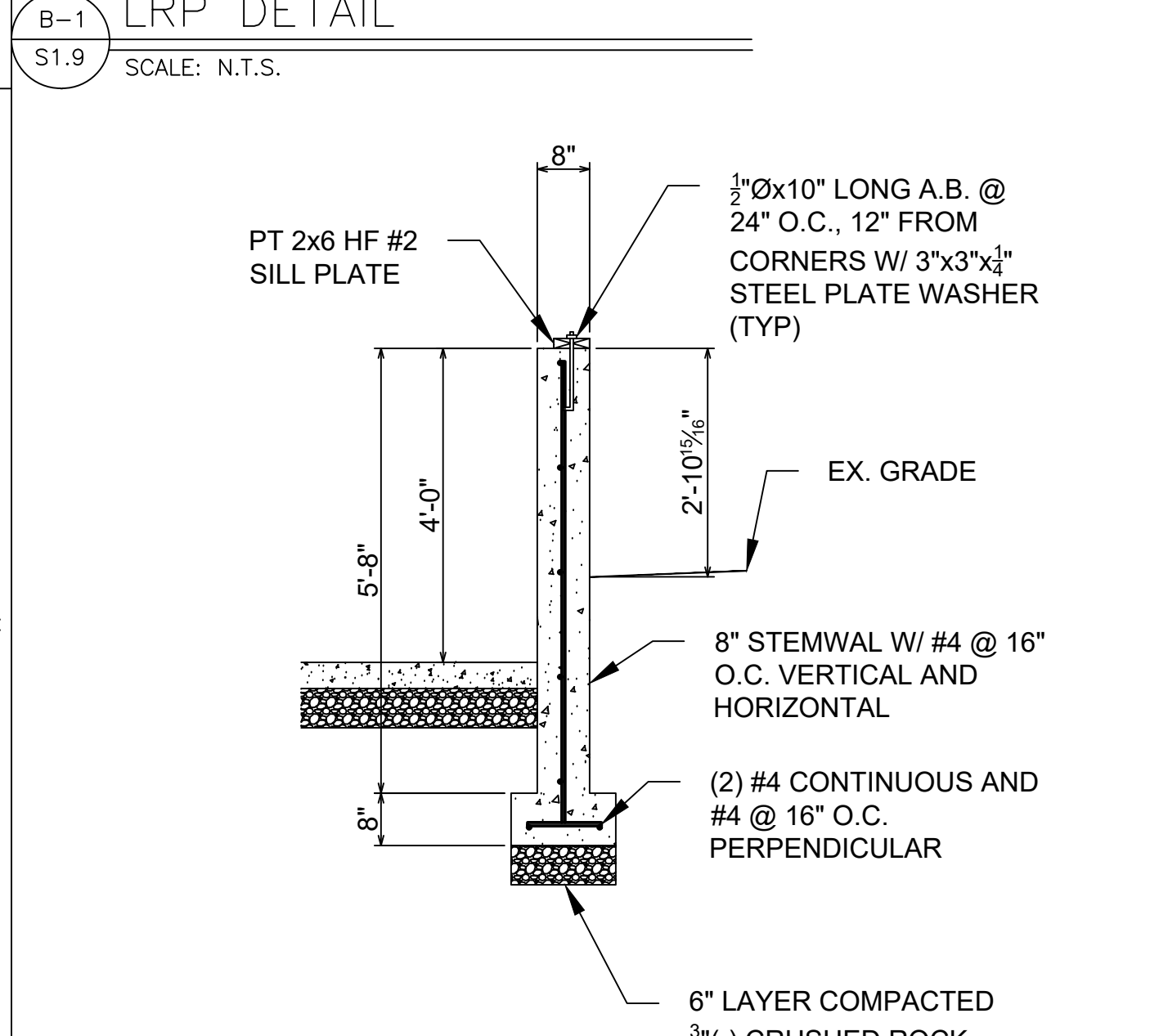
B-2 STAIR DETAIL  
S1.9 SCALE: N.T.S.



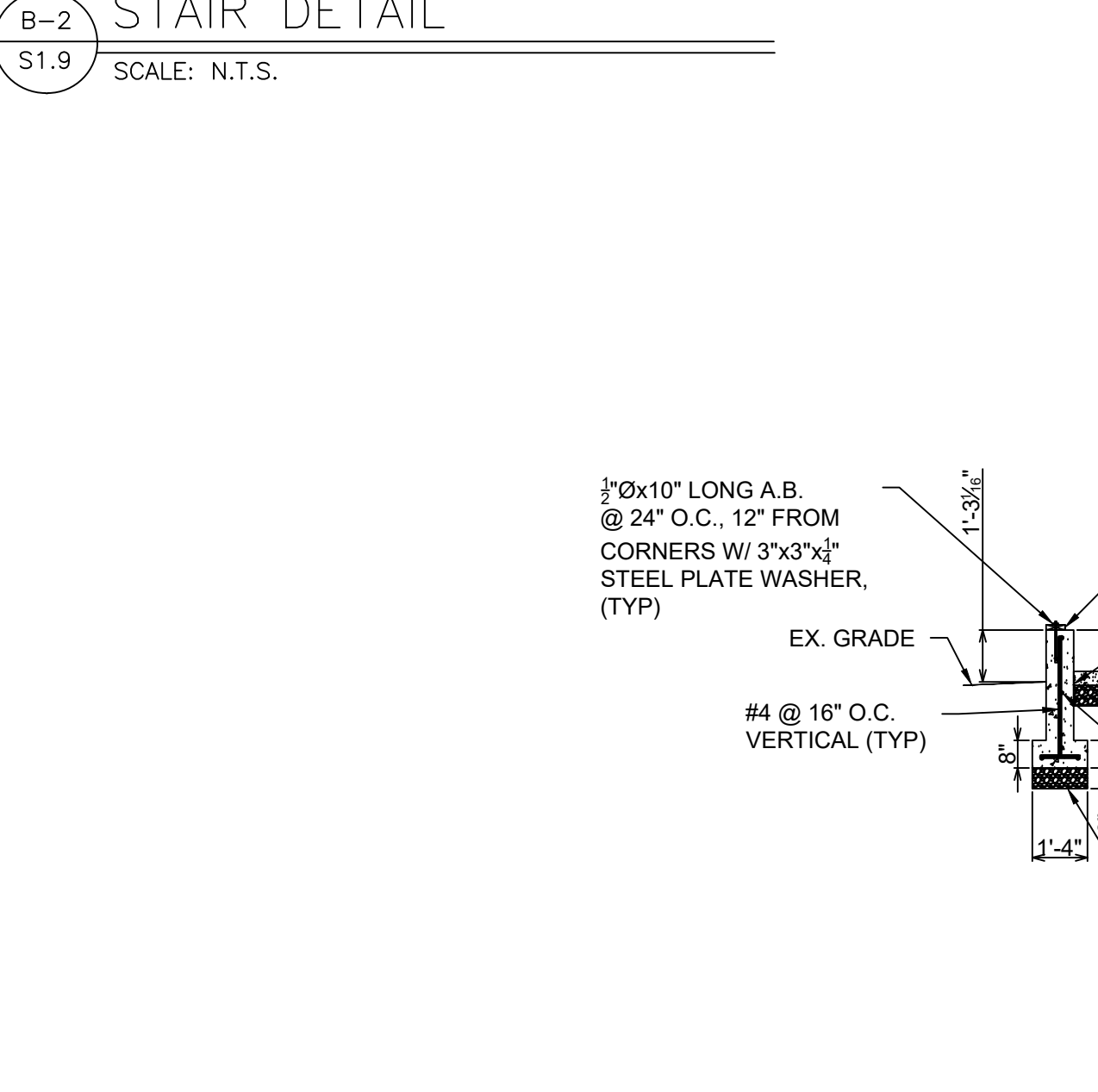
B-3 FOUNDATION DETAIL  
S1.9 SCALE: 1/2" = 1'-0"



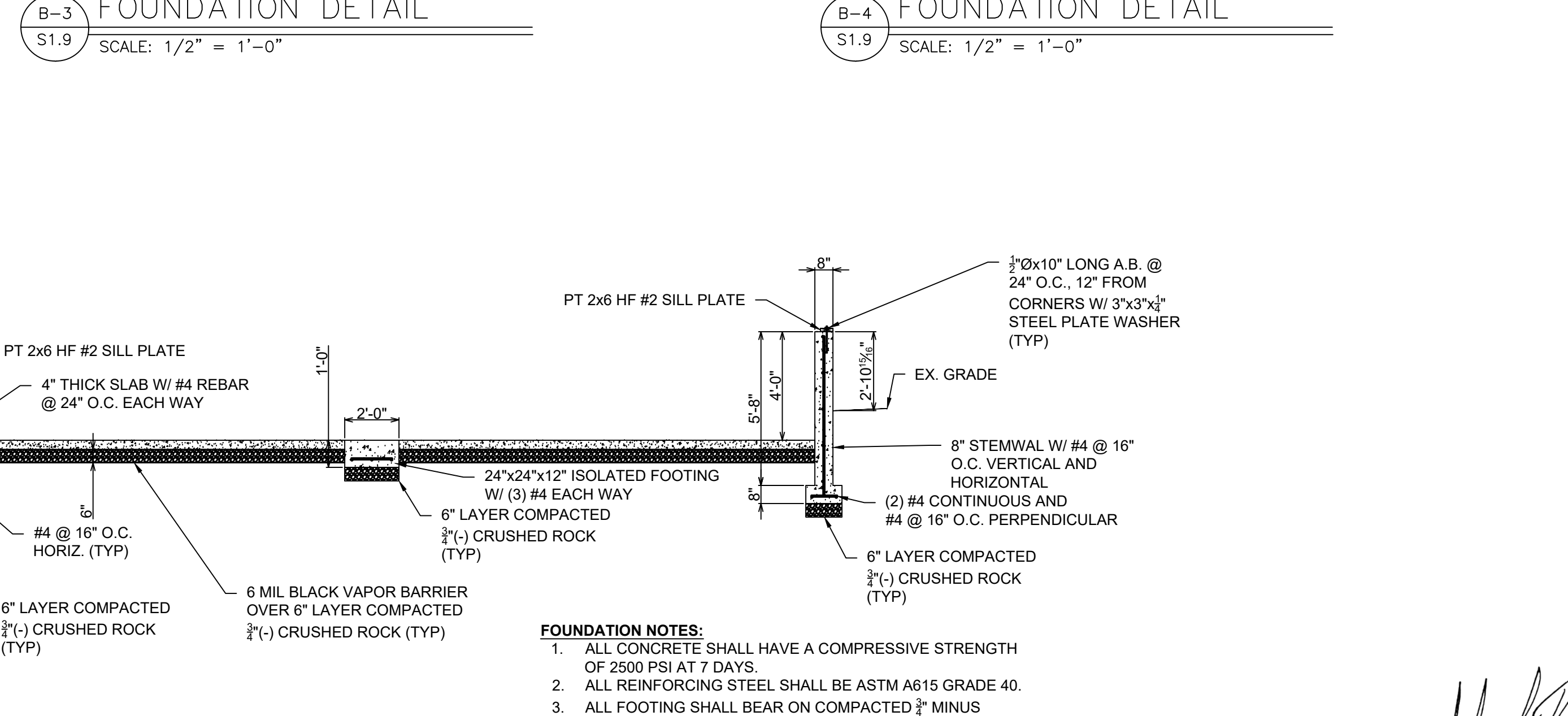
B-4 FOUNDATION DETAIL  
S1.9 SCALE: 1/2" = 1'-0"



C-1 FOUNDATION DETAIL  
S1.9 SCALE: 1/2" = 1'-0"



C-2 FOUNDATION SECTION  
S1.9 SCALE: 1/4" = 1'-0"



C-3 FOUNDATION SECTION  
S1.9 SCALE: 1/2" = 1'-0"

- FOUNDATION NOTES:**
- ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI AT 7 DAYS.
  - ALL REINFORCING STEEL SHALL BE ASTM A615 GRADE 40.
  - ALL FOOTING SHALL BEAR ON COMPACTED 3/4" MINUS CRUSHED ROCK.

*Handwritten signature*

